

NOTICE OF MEETING ZONING BOARD OF ADJUSTMENT

TYPE OF MEETING

REGULAR MEETING	(X)	RESCHEDULED REGULAR MEETING	()
SPECIAL MEETING	()	CONTINUED OR RECONVENED	()
		MEETING	

DATE:

TIME:

PLACE OF MEETING:

06.17.2021

2:30 P.M.

Commission Chambers

City Hall, 9th & Broadway

Shawnee, OK 74802-1448

To be completed by person filing notice:

NAME:

Rachel Clyne

TITLE:

City Planner

ADDRESS:

P. O. Box 1448

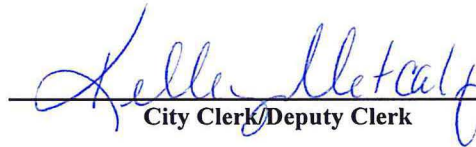
Shawnee, OK 74802-1448

PHONE:

(405) 878-1616

Filed in the office of the municipal clerk at 4:55 a.m./p.m. on 06.15.2021

SIGNED:


City Clerk/Deputy Clerk

=====

FOR CITY CLERK'S OFFICE USE ONLY

DATE NOTICE RELEASED TO NEWS MEDIA:

6-15-2021

PERSON FILING NOTICE:

Rachel Clyne

NOTICE VERIFIED BY:

Kelly Metcalf

**AGENDA
CITY OF SHAWNEE
ZONING BOARD OF ADJUSTMENT
JUNE 17TH, 2021 AT 2:30 P.M.
COMMISSION CHAMBERS
CITY HALL, 16 W 9TH ST**

- 1)** Roll Call
- 2)** Consideration of approval of the minutes from the regular meeting of the Zoning Board of Adjustment on January 21st, 2021.
- 3)** Case #ZBOA02-21– Public hearing and consideration of approval of a sign variance request to add a second freestanding sign of 35' and replace the existing 20' sign with a 35' sign for a 7.9-acre tract located at 4921 N. Automall Drive. Applicant: Dalmarc Signs on behalf of Joe Cooper
- 4)** New Business
- 5)** Commissioners' Comments
- 6)** Adjournment

ZONING BOARD OF ADJUSTMENT

DATE: January 21st, 2021

DRAFT Minutes

The Zoning Board of Adjustment met at a regularly scheduled meeting on Thursday, January 21st, 2021 at 2:30 p.m. in the Commission Chambers at City Hall, Shawnee, Oklahoma, Pottawatomie County, pursuant to notice duly posted as prescribed by law.

AGENDA ITEM NO. 1: Roll Call

Upon roll call the following Board members were present: Tim Burg, Holly Gordon, Brandon Dyer, and Crystal Richardson.

Board member Mark Cannon was noted as absent.

A quorum was declared present.

AGENDA ITEM NO. 2: Case #ZBOA12-20- Public hearing and consideration of approval of variance request to grant relief from the façade requirement in the C-4 (Central Business District) for a 1.79-acre tract located on the southeast corner of 10th & N. Kickapoo. *(Deferred from December 17th, 2020 ZBOA per staff's request)* **Applicant: Tina Hanna, South Central Industries, Inc.**

Planning Director Rebecca Blaine presented the staff report. She stated the applicant was requesting a variance for full relief of the 80% façade requirement for C-4 (Central Business District) properties set forth in Section 22-143 for a 1.79-acre tract located on the southeast corner of 10th & Kickapoo. In other commercial zoning districts, the façade coverage minimum was 60% apart from properties zoned C-4 (Central Business District), which require a minimum of 80% façade coverage. The applicant recently rezoned the subject property to C-4. Director Blaine stated there was no physical hardship associated with the property.

Blaine discussed the Kickapoo Widening Project, which will substantially improve and widen N. Kickapoo Avenue from Kickapoo Spur to Farrall Street, for a \$19M investment. The proposed structure will tower the surrounding single-story residential homes and commercial buildings. Without any façade to soften its aesthetics and improve its resiliency for the long-term, asking for complete relief of the façade requirement is a momentous request. Staff spoke with the applicant about rezoning to C-3 (Commercial Highway District); however, the reduced setbacks of the C-4 district requirements were more attractive to the applicant and their project. The applicant has submitted an example of wainscot, but it is simply a different paint color, not a façade proposal.

Staff recommends denial of variance application (**#ZBOA12-20**) as submitted for complete relief of the 80% façade requirement.

Chairwoman Gordon opened the public hearing.

Board member Dyer made a motion to defer the application to a future meeting, which was seconded by Chairwoman Gordon.

The motion passed 3-0-0.

AYE: Dyer, Gordon, Richardson

NAY: None

ABSTAIN: None

AGENDA ITEM NO. 3:

Case #ZBOA01-21 – Public hearing and consideration of approval of a variance request for the use of six shipping containers and sight-proof fencing for a 1.71-acre tract located at 1610 N. Harrison Avenue.

Applicant: Hub and Car, L.P., Vic Grissom for Pharm House

Planning Director Rebecca Blaine presented the staff report. She stated the applicant was requesting a variance to

Chairwoman Gordon opened the public hearing.

Applicant Justin Ramer addressed the Board and explained the goal was to build five (5) new homes, which he believed would add value to the neighborhood. He stated the variance request became necessary when after the land purchase it was determined there was a five-feet (5') utility easement (U/E) on the east side. The hardship was created when the five-feet (5') is removed from the full length of the parcel, the lots are too narrow by one-foot (1') each. Instead of building on four (4) lots, the variance application was submitted.

At the request of Director Blaine, Ramer described the type of homes that would be built as new construction in a Craftsman style. The siding would be white with each home around 1,600 – 1,700 square feet. The estimated price was \$200,000 - \$210,000. He explained that each lot would exceed the minimum 6,000 square feet, but the street frontages each would be 59'.

Ms. Moore addressed the Board and explained she lives across the street and had concerns about negative effect on property values. Additionally, there was only one road in and out, and the low concrete bridges that currently floods during a rain.

Director Blaine stated that in R-1 zoning there is a maximum of 35% of the lot may be covered with hard surface. That maximum was calculated to aid in the prevention of additional stormwater flooding to neighboring lots.

Applicant Ramer stated that there was no additional land for another street. The proposed new homes would mirror the homes in the area. Director Blaine stated those subdivisions were Irish Ridge Addition and Smoking Oaks 4 and 4.

Board member Dyer stated property values should increase with the construction and sale of the new homes.

With no other comments, the public hearing was closed.

Board member Gordon made a motion to approve the variance as requested, which was seconded by Board member Dyer.
The motion passed 3-0-0.

AYE: Gordon, Dyer, Richardson

NAY: None

ABSTAIN: None

AGENDA ITEM NO. 5:

New Business

Director Blaine thank the Board members for their service to the Community and wished everyone a healthy and happy New Year.

AGENDA ITEM NO. 6:

Board Members' Comments

Chairwoman Gordon commented that more meetings mean we (Shawnee) were moving forward.

AGENDA ITEM NO. 7:

Adjournment

The meeting was adjourned at 3:17 p.m.

Chairwoman/Vice-Chairman

Rebecca Blaine

Planning Director

City of Shawnee Planning Department 222. N. Broadway Shawnee, OK 74801 (405) 878-1666 Fax: (405) 878-1587 www.ShawneeOK.org			CASE # ZBOA02-21 PUBLIC HEARING DATE: June 17 th , 2021	
APPLICANT: Joe Cooper Dalmarc Signs 4921 N. Automall Drive				
PROPERTY ADDRESS/LOCATION: North of Interstate 40 west of N. Harrison Avenue off of Shawnee Mall Drive				
				
EXISTING ZONING: C-3 (Highway Commercial District)	EXISTING LAND USE: Auto dealership	SURROUNDING ZONING & LAND USE: C-3 (Highway Commercial District)	LOTS: 1	PROPERTY SIZE: 7.9 acres
STAFF RECOMMENDATION				
<i>Based upon the information provided by the applicant and review of the Zoning Code, staff recommends denial of the variance request ZBOA02-21.</i>				
APPROVE	APPROVE WITH CONDITIONS	DENY		

ATTACHMENTS: (CIRCLE)	SUBMITTED PLANS	PUBLIC HEARING PETITION/ APPLICATION FORM	LEGAL NOTICE	LEGAL DESCRIPTION
PUBLIC COMMENTS	AGENCY COMMENTS	RESPONSE TO STANDARDS		

Sec. 3-190. – Other commercial and industrial zoning districts.

- 1) One freestanding sign location per street frontage is permitted for a single business or a group of businesses which share common access and parking facilities, provided that an additional sign location shall be permitted for each 150 lineal feet of frontage (Cul-de-sac has approximately 115' road frontage.)
- 2) a.
- 3) The maximum height shall be 20 feet above grade level, except as provided in subsection (e)(1)b of this section.

(d) Size standards for freestanding signs. Size standards for freestanding signs shall be as follows: (1) The display surface area shall be permitted on the basis of two square feet of sign for each one lineal foot of frontage, up to the following maximum size. For C-5, CP and C-3 districts, 400 square feet. (Business has 115' of road frontage at widest point of cul-de-sac, which equals a maximum of 230' square feet for signage. Current proposed signs are 124.9 and 158.58 square feet for a total of 283.48 square feet. An exceeding square footage of 53.48 square feet.)

Airport obstruction evaluation came back clear. The City of Shawnee has an existing sign code from 1990. With new sign code on the horizon in the overhaul of the Zoning Code and Subdivision Regulations, the City will be shrinking permittable heights, quantities, and DSAs (display surface areas) on new signage. This variance application lacks a hardship to grant the additional sign requested as well as the variance request to allow for 35' height signs instead of the sign code's allowable 20' height.

PLANNING DEPARTMENT
222 N. BROADWAY
SHAWNEE, OK 74801



Rec'd
5/17/21

June 17th
mtg

PHONE: (405) 878-1616
FAX: (405) 878-1587

ZONING BOARD OF ADJUSTMENT
PROJECT NO. 20210417 **CASE NO.** Z BOA 02-21

NAME OF PROPERTY OWNER: Joe Cooper

ADDRESS: 4921 N Automall Dr.

CITY: Shawnee STATE: Oklahoma ZIP CODE: 74804

TELEPHONE: () EMAIL: _____

APPLICANT'S NAME: Dalmarc Signs

APPLICANT'S RELATIONSHIP TO OWNER (S): [CHECK ONE] **SAME** ☐ **AGENT** ☒

APPLICANT'S ADDRESS: 4040 S I-35 Service Rd

CITY: Oklahoma City STATE: Oklahoma ZIP CODE: 73129

TELEPHONE: (405) 942 8703 EMAIL: bruce@dalmarcsigns.com

(PLEASE COMPLETE FOR THE **PROPERTY** THAT THE VARIANCE IS REQUESTED FOR.)

PROPERTY LOCATION (ADDRESS): 4921 N Automall Dr. Shawnee OK. 74804

LEGAL DESCRIPTION: _____

(DIMENSIONS OF PROPERTY) AREA: 4723.0 SF WIDTH: 647'

LENGTH: 730' FRONTAGE: 647'

CURRENT ZONING: C-4 C-3 CURRENT USE: Auto Sales

VARIANCE REQUESTED: Chapter 3 Sec. 3-86 B.1. E.a. To be approved for a additional freestanding sign. Also the two freestanding signs we would like to be approved for a 35' OAH.

**COMPLETED APPLICATION AND ALL CORRESPONDING DOCUMENTS
MUST BE RECEIVED 30 DAYS PRIOR TO MEETING TO MAKE THE
AGENDA.**

Bruce Edwards
APPLICANT'S SIGNATURE

(OFFICE USE ONLY)

Filed in the office of the Planning Department, 222 N. Broadway, this 17 day of, MAY 2021. RC

\$230.00 CK 7627
FILING FEE: \$90 + SIGN FEE: \$50

RECEIPT NO: 362

ZONING BOARD OF ADJUSTMENT SECRETARY

ZBOA DECISION: _____

DALMARCSIGNS

P.O. BOX 95698 • 4040 S. I-35 Service Road • Oklahoma City, Oklahoma 73143-5698 (405)942-8703

May 13, 2021

Joe Cooper CDJR is asking for a variance to allow more than one freestanding sign on the South elevation facing Interstate 40 as per site plan. Also we would like to have the two sign 35' over all height the code only allows them to have one Freestanding sign and can only be 20' OAH sign. This is needed to get the full visibility of traffic flow for our customers. This is also the branding image that all dealership have. We are asking for a variance to allow us more signage to be able to advertise our business as other business in this area was allowed.

Sincerely

Bruce Edwards

Design • Manufacturing • Service • Installation • Neon

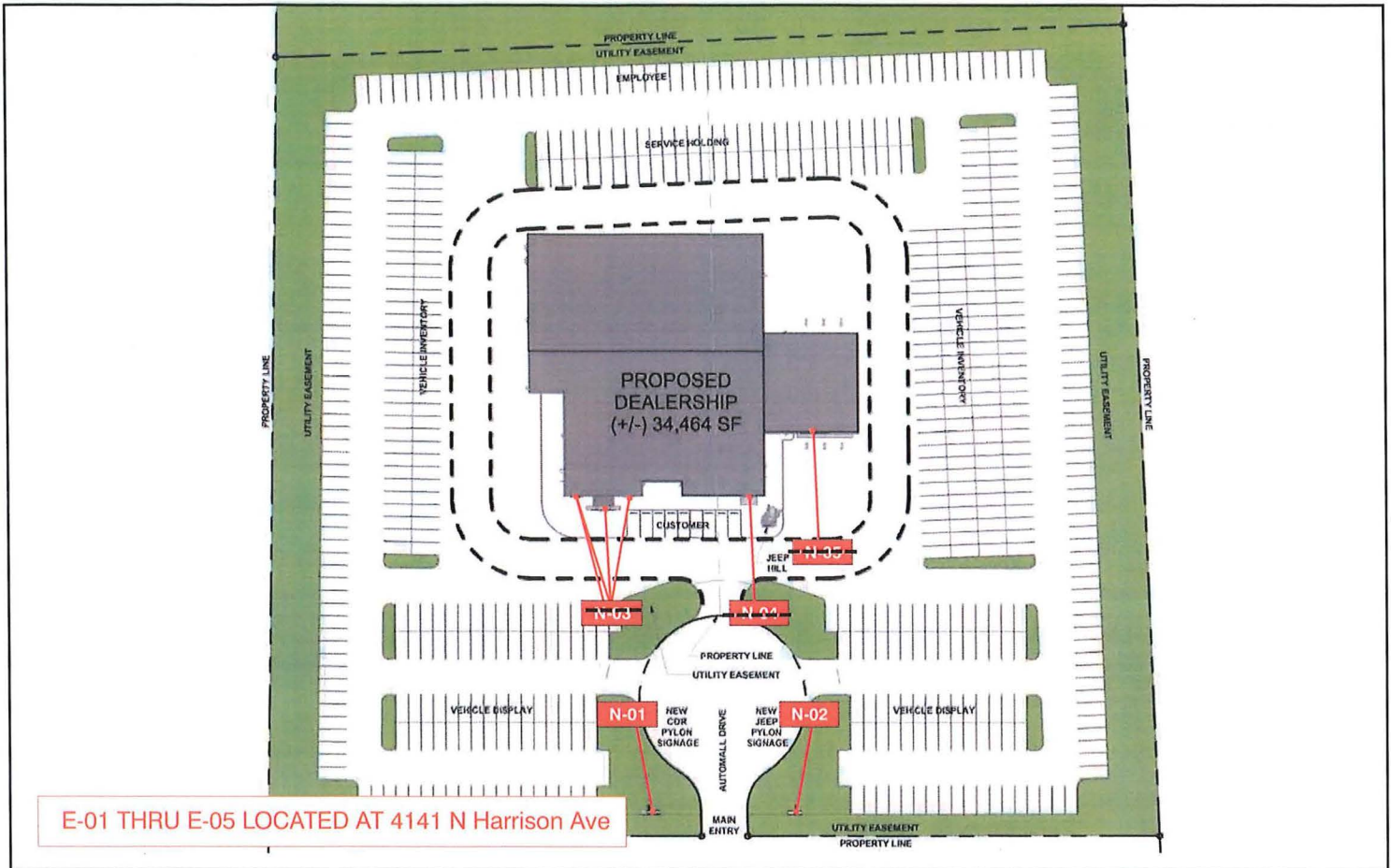


DODGE

Jeep



INVENTORY / SITE PLAN



INVENTORY

RECOMMENDATION

Sign	Existing Type	Action	Sign Type	Description
E-01	9 Series 10' x 15' Monument at 17' OAH	RO	Monument	Remove Only
E-02	9 Series Chrysler, Dodge, Jeep, Ram Badges, 24" DNL	RO	Wall Sign	Remove Only
E-03	35" Square Mopar Panel with Parts Letters	RO	Wall Sign	Remove Only
E-04	35" Square Mopar Panel with Service Letters	RO	Wall Sign	Remove Only
E-05	D-4 Flag Directional at 3' OAH	RO	Directional	Remove Only
N-01	No Existing Sign	New	Pylon	9 Series 10' x 15' Brand Sign at 35' OAH
N-02	No Existing Sign	New	Pylon	JT-9 Jeep Totem at 35'-0" OAH
N-03	No Existing Sign	New	Wall Sign	12 Series Chrysler, Dodge, Ram Badges, 20" DNL
N-04	No Existing Sign	New	Wall Sign	134 Jeep Letters
N-05	No Existing Sign	New	Wall Sign	MP35/SWS

RO - Remove Only

LS - Leave Sign

RL - Relocate

RR - Remove/Replace

RTF - Retro-fit

RF - Reface



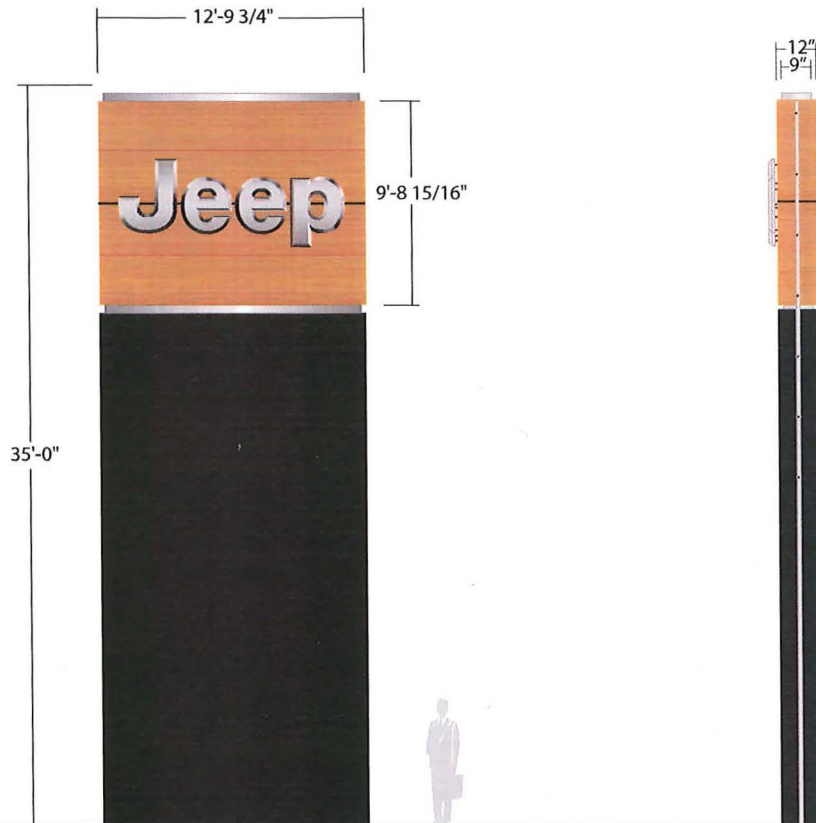
DODGE

Jeep



SIGN DETAIL

JT-9 JEEP TOTEM at 35' OAH



Square Footage

- 124.9 ft²

Manufacturing Details

- ACM wrapped sign structure
 - Upper panel - Woodgrain – Alpolic 4mm Harvest Trail Bamboo
 - Lower panels – Dark gray – Alpolic 4mm Anthracite Gray
 - Reveal and top cap – Chrome – Alpolic 3mm High Polished Aluminum (HPA)
- Jeep logo, 3" deep, beveled and brushed stainless steel
- Jeep logo is LED halo illuminated

Illumination

■ LEDs:

JEEP LOGO:

(220 TOTAL, 110 PER LOGO) SLOAN PRISM WHITE 6500K
P/N: 701269-6WSJ1-MB

ACCENT LIGHTING:

[20 TOTAL, (8) 8FT AND (2) 4 FT PER SIDE] CUT TO FIT;
(16) SLOAN WHITE COLORLINE 701800-W-8
(4) SLOAN WHITE COLORLINE 701800-W-4

■ POWER SUPPLY:

(5) SLOAN 60W POWER SUPPLY 60C1 (LOGOS)
(6) SLOAN 60W POWER SUPPLY 60C1 (ACCENT LIGHTING)

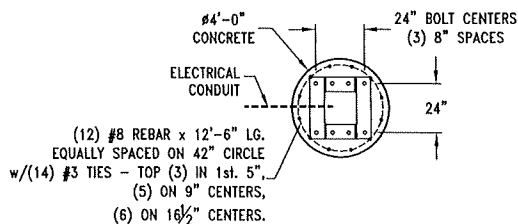
■ TOTAL LOAD: 7.7A @ 120V

■ CIRCUITS: (1) 20 AMP REQUIRED

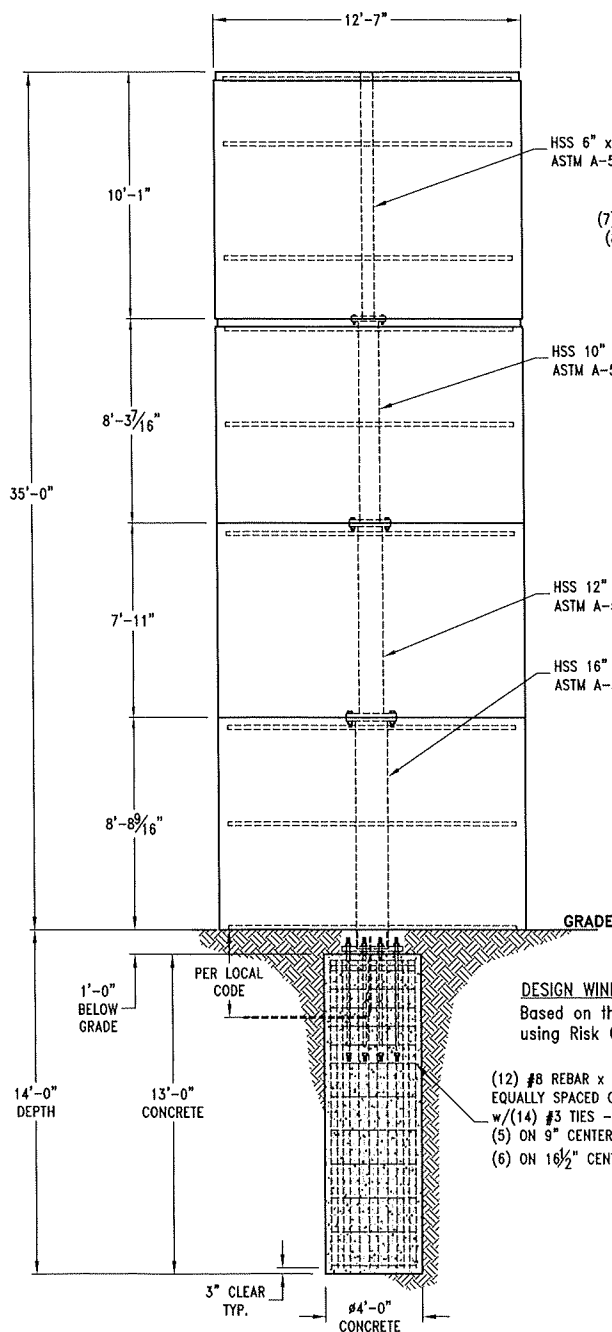
■ ALL ELECTRICAL COMPONENTS TO BE UL LISTED
GROUNDING PER UL AND NEC SPECIFICATIONS

FOUNDATION DESIGN NOTES:

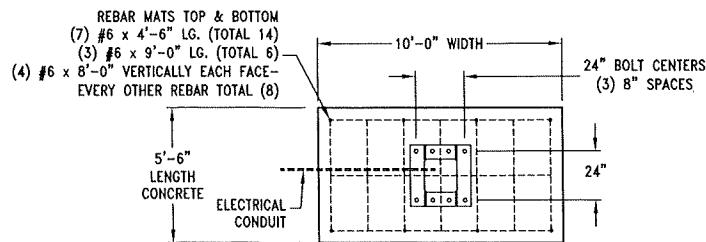
1. Concrete shall have a minimum compressive strength of 3000 PSI at 28 days.
2. Reinforcing steel shall be ASTM A-615 Gr. 60.
3. Footings designed using soil bearing forces of 2000 PSF Static, 2660 PSF Dynamic and 250 PSF per foot Lateral. If these soil conditions do not exist, it is the Erector's responsibility to have a new base designed for the existing soil conditions by a Licensed Engineer.
4. Anchor bolts shall be ASTM F-1554 Gr. 55 steel



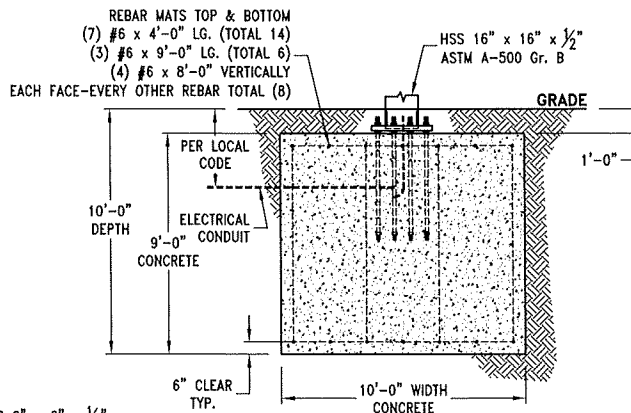
PLAN VIEW W/CAISSON FOOTING
QTY. CONCRETE: 6.2 CU. YDS.



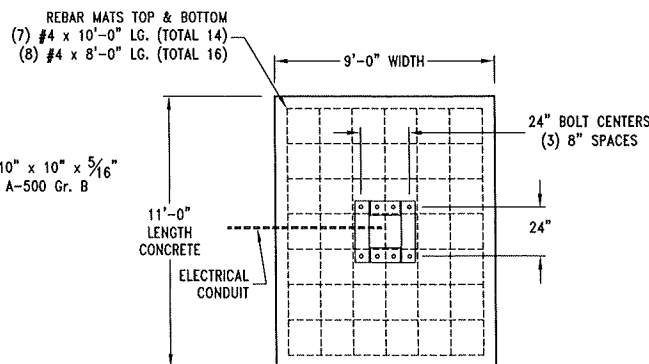
ELEVATION VIEW W/CAISSON FOOTING



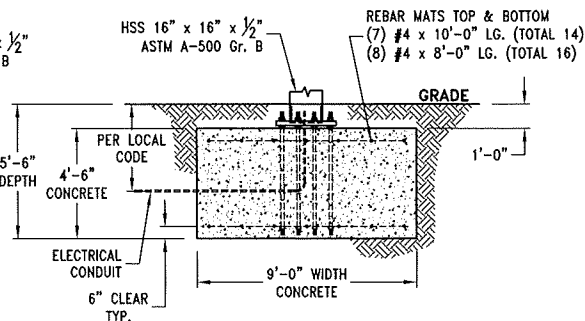
PLAN VIEW W/ VERT. SLAB FOOTING
QTY. CONCRETE: 18.3 CU. YDS.



ELEVATION VIEW W/VERT. SLAB FOOTING



PLAN VIEW W/SPREAD FOOTING
QTY. CONCRETE: 16.5 CU. YDS.



ELEVATION VIEW W/SPREAD FOOTING

DESIGN WIND LOAD:

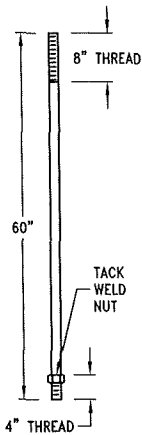
Based on the 2018 International Building Code (ASCE 7-16) using Risk Category II, Exposure C and 115 mph wind speed.

SIGN TYPE: JT-9

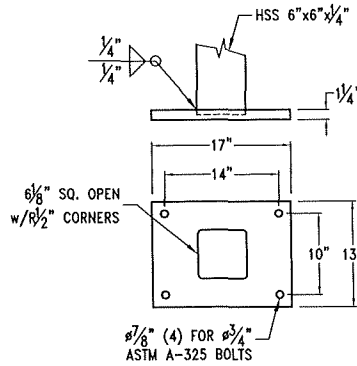
SITE:

Jeep

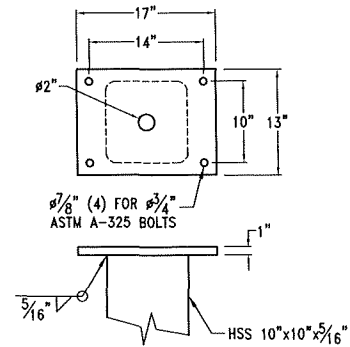
A	31 Aug 20	RELEASED FOR PERMITTING	J. HOGAN
REV	DATE	DESCRIPTION	APPROVED
Robert-James & Associates, Inc. 12255 West 187th Street, Mokena Illinois 60448-9737 phone: 708-479-8385 fax: 708-479-8395 email: rja37@comcast.net			
TITLE 35'-0" OAH x 12'-7" WIDE SINGLE POLE JT-9 SIGN PYLON			
DRAWN BY	A. KLOTZKE	DATE	31 Aug 20
CHECKED BY	J. HOGAN	DATE	31 Aug 20
SCALE	NONE	DRAWING NUMBER	2008130
SHEET	1 OF 2	REV.	A



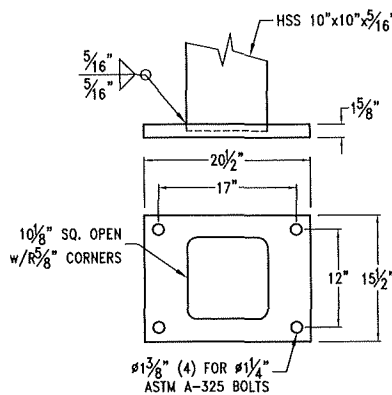
ANCHOR BOLT DETAIL
#1 1/2" ASTM F-1554 Gr. 55 STEEL



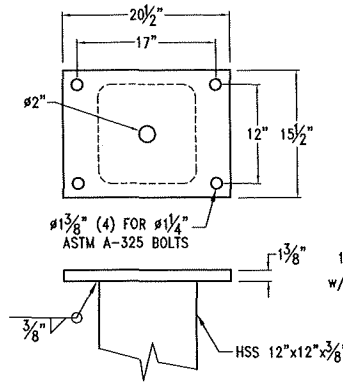
SECTION 1 BASE PLATE DETAIL
1 1/4" ASTM A-36 STEEL



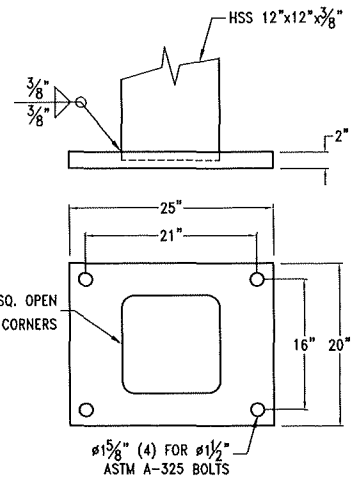
SECTION 2 TOP PLATE DETAIL
1" ASTM A-36 STEEL



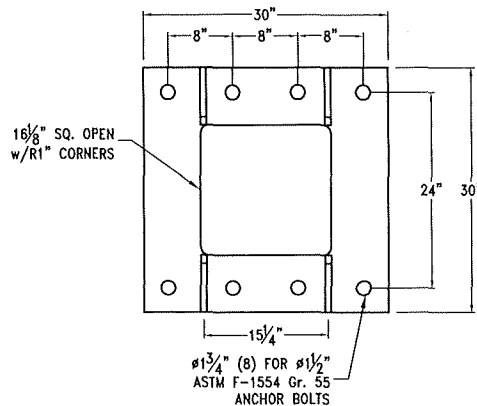
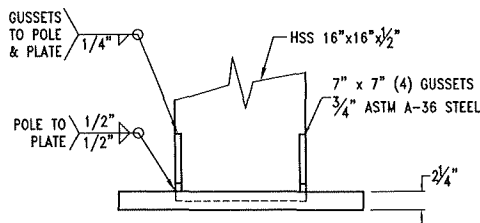
SECTION 2 BASE PLATE DETAIL
1 5/8" ASTM A-36 STEEL



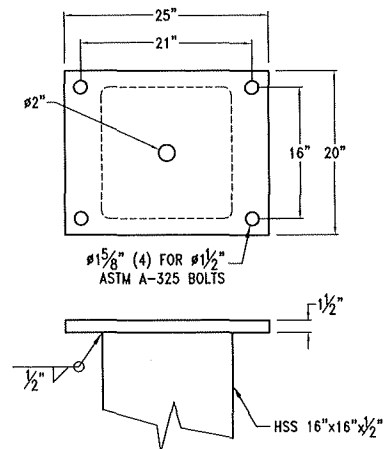
SECTION 3 TOP PLATE DETAIL
1 3/8" ASTM A-36 STEEL



SECTION 3 BASE PLATE DETAIL
2" ASTM A-36 STEEL



BASE PLATE DETAIL
2 1/4" ASTM A-36 STEEL



SECTION 4 TOP PLATE DETAIL
1 1/2" ASTM A-36 STEEL

Robert-James & Associates, Inc.

12255 West 187th Street, Mokena Illinois 60448-9737
phone: 708-479-8385 fax: 708-479-8395 email: rja37@comcast.net

TITLE 35'-0" OAH x 12'-7" WIDE SINGLE
POLE JT-9 SIGN PYLON

DRAWN BY J. GREENAN	DATE 30 Mar 20	SCALE NONE	DRAWING NUMBER 2008130	SHEET 2 OF 2	REV. A
CHECKED BY J. HOGAN	DATE 30 Mar 20				



DODGE

Jeep



RAM

SIGN DETAIL

9 SERIES 10' x 15' BRAND SIGN at 35' OAH

Square Footage

■ 158.58 ft²

Manufacturing Details

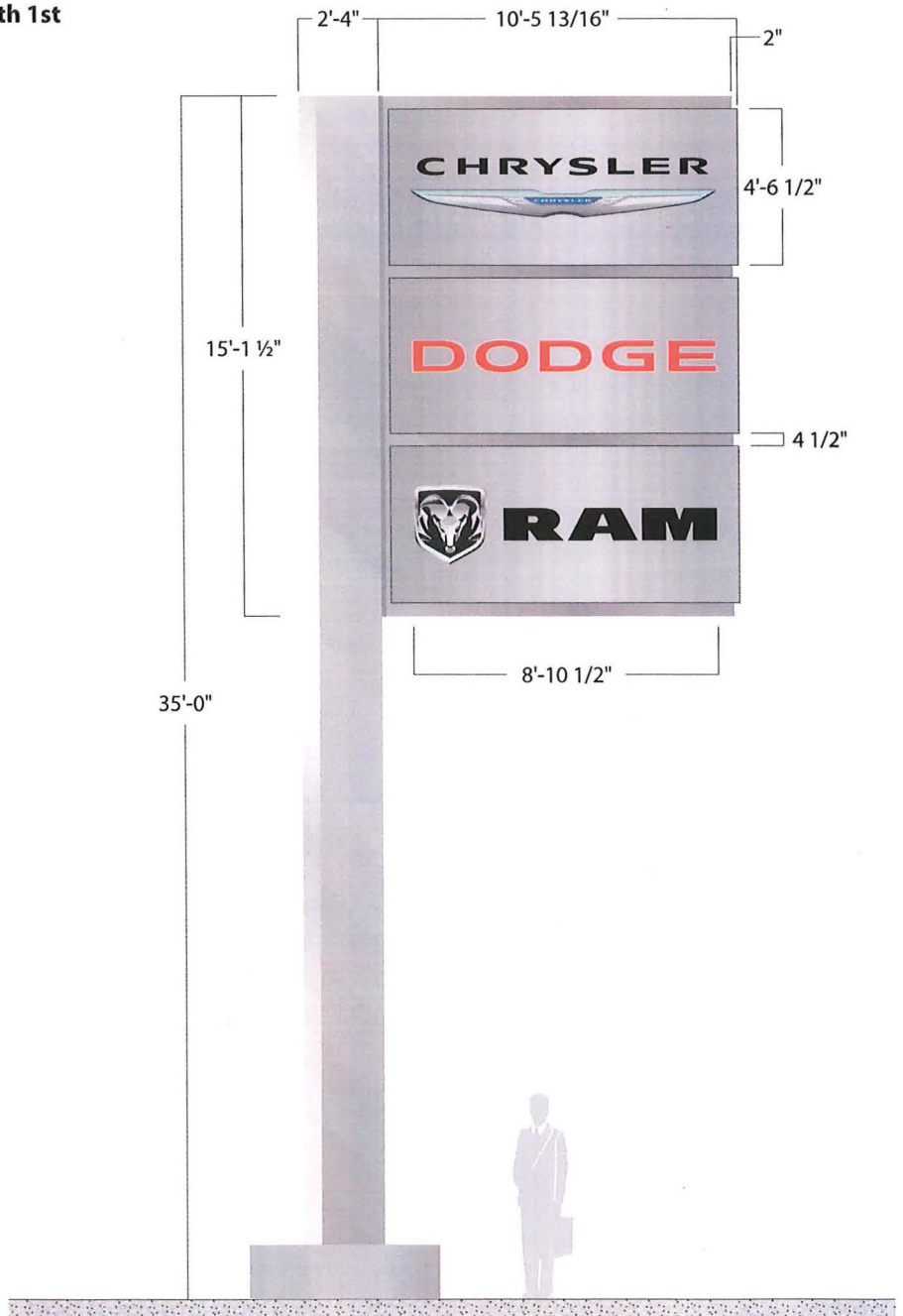
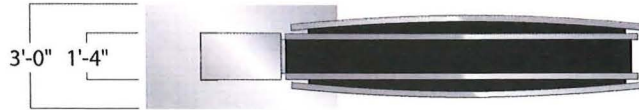
- Painted aluminum exterior construction with chrome accents on cladding.
- Clear acrylic logos pushed thru cabinet face with 1st surface decoration vinyl /color digital print.

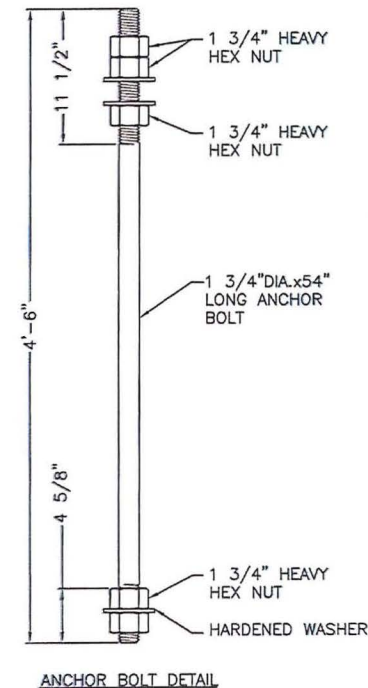
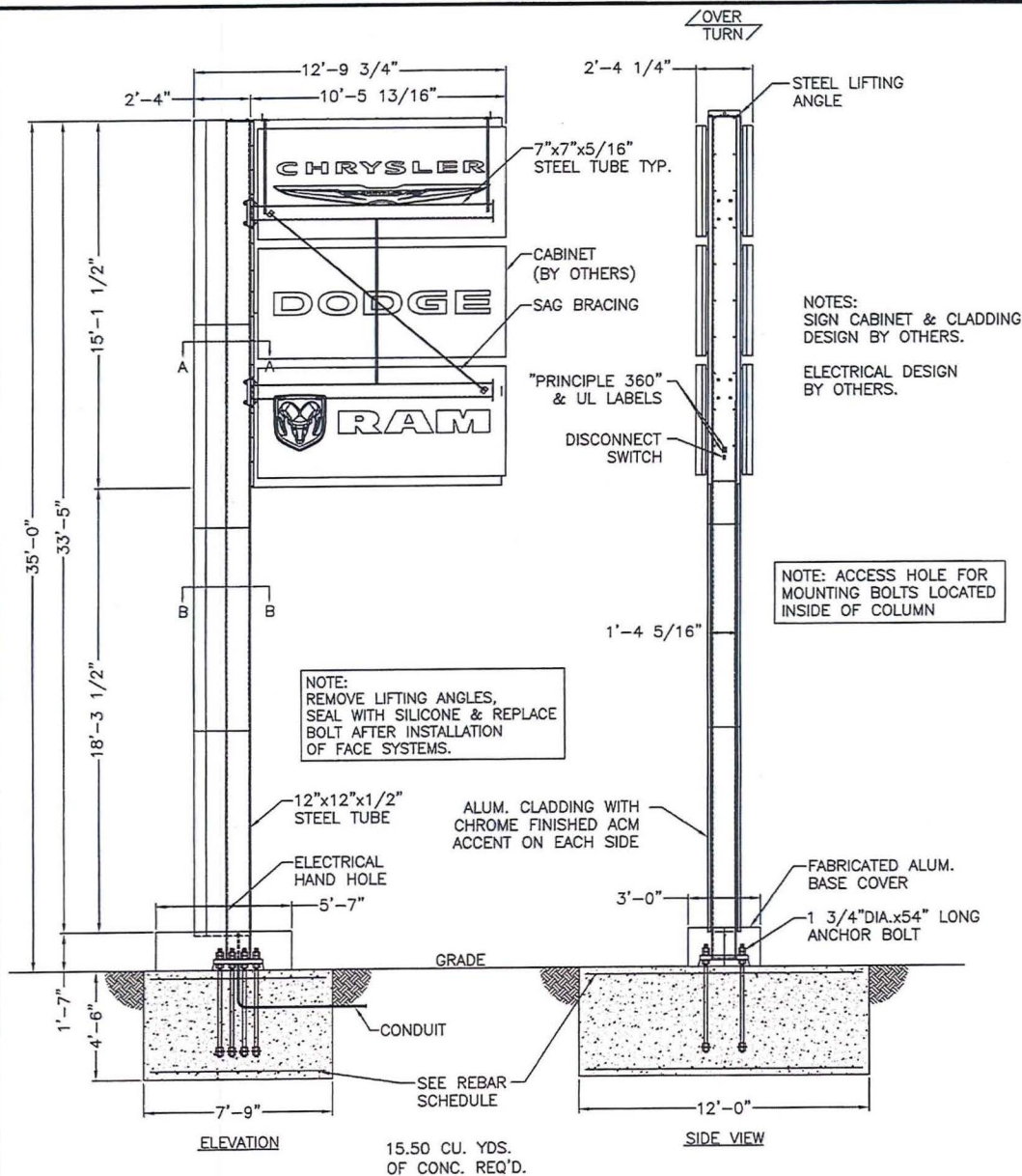
Electrical Requirements

- (1) 20 amp Dedicated Circuit Required
- LED internal illumination

Colors

- **Chrysler Badge:** Black ■ Process Black
Blue ■ PMS 287
Silver
- **Dodge Badge:** Red ■ PMS 485
White
Silver
- **Ram Badge:** Black ■ Process Black
Silver





INSTALLATION ADDRESS:

JOE COPPER CDJR OF SHAWNEE
4921 N. AUTOMALL DR.
SHAWNEE, OK 74804

CLIENT:

principle

PRINCIPLE GROUP
2035 LAKESIDE CENTRE WAY - SUITE 250
KNOXVILLE, TN 37922

REV	DATE	DESCRIPTION
1	-/-/-	-----
2	-/-/-	-----
3	-/-/-	-----
4	-/-/-	-----
5	-/-/-	-----
6	-/-/-	-----
7	-/-/-	-----

All designs and plans indicated on this drawing are created specifically for the noted project and are the sole property of LINK Engineering, L.L.C. Use of these designs or plans for any purpose other than the intended application shall be prohibited without the written consent of LINK Engineering, L.L.C. Disclosure of any of the information contained within, without consent of the owner, is a violation of intellectual property and shall not be tolerated.

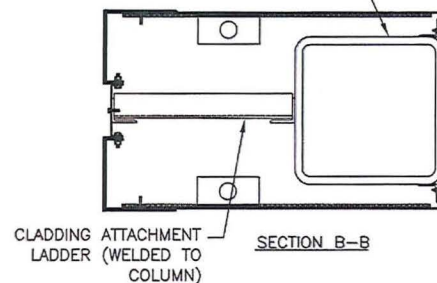
SEAL & SIGNATURE:



LINK Engineering, L.L.C.

135 South David Lane • Knoxville, Tennessee 37922
Phone: (615) 533-4021 • www.linkengr.com

Project Number:	Drawing Number:
21-0248	B2502290
SHT. OF	DATE: BY:
1 3	4/8/21 GHK



Project Number: 21-0248		Drawing Number: B2502290	
SHT. 2	OF 3	DATE: 4/8/21	BY: GHH

TOP STEEL AREA REQD PER FT OF WIDTH		0.451	
TOP STEEL AREA REQD PER FT OF WIDTH		0.246	
LONG BOTTOM STEEL			
	REBAR SIZE	6.000	
	VICINENT PER FT	1.522	
	SPACING	10.000	#
	AREA PER BAR	0.440	
BOTTOM STEEL AREA REQD PER FT OF WIDTH		0.441	
	AREA PER FT	0.591	
	BEST BAR REQD	6.000	
	NUMBER REQD	8.000	
	LENGTH	15.000	
	VICINENT	105.427	#
	EDGE	8.500	
LONG TOP STEEL			
	REBAR SIZE	5.000	
	VICINENT PER FT	1.043	
	SPACING	10.000	#
	AREA PER BAR	0.310	#
TOP STEEL AREA REQD PER FT OF WIDTH		0.246	
	AREA PER FT	0.246	

	NUMBER REQ'D	7.200	
	LENGTH	11.500	ft
	WEIGHT	83.961	
	EDGE	7.500	
GROSS STEEL	REBAR SIZE	5.000	
	WEIGHT PER YD	1.543	
	SPACING	16.000	in
	LENGTH	7.250	ft
	EST NO. REQ'D	9.000	

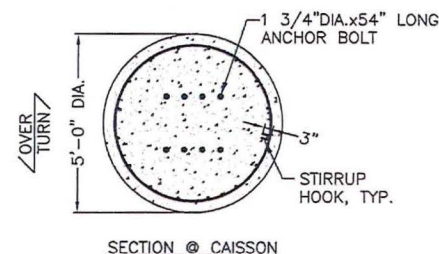
	NUMBER REEDS	7.000	
	EDGE	8.000	ft
	WEIGHT	126.111	
	TOTAL WEIGHT	375.520	
FOUNDATION WIDTH		7.750	ft
FOUNDATION LENGTH		12.000	ft

VERTICAL SLAB MOMENT FORCE	132.611 6.454	FT-KIP KIP
REFERENCE: 1907.3.2 & TABLE 1006.2 ASSUME SOIL CLASS: MH, SH, SP, DL, SC, GM & GC LA THERAL BEARING PRESSURE - PERCENT OF DEPTH	150.0	PSF/FT

SLAB DEPTH (d)	875.0	FT.
SLAB WIDTH (b)	6.750	FT.
SLAB THICKNESS	6.500	FT.

VELOCITY=HDDT(H)			
A=2.54*FORCE(S17)	28.081	FT.	
COLLIDED THICKNESS	1.782		
MINIMUM THICKNESS WITHOUT REBAR	7.972	FT.	
GAUTDIT(2)*751.17E-12*WDT(H)	32.633	IN.	
ACTUAL THICKNESS	60.200	IN.	
CONCRETE	12.373	CU YD	
CEISSON			
MOMENT			
KIP	167.811	FT-KIP	
REFERENCE GC 1037 3.2.2 & TABLE 1306.2	6.424	INP	
ACQUARD CLASMS 44 DIV. SP. SA SG 44 0C			
LA TOTAL BOARDING PRESSURE - POFFIT OF DEPTH	110.2	PSF/FT	
D1	1146.7		
DEPTH	11.167	FT.	
DIAMETER	3.102	FT.	
	24.905	FT.	
	2.763	FT.	

1. Design is based on 115 mph, 3 second gust wind design per IBC 2015, Category II, Exposure C.
2. Spread foundation is based on a presumptive safe vertical soil bearing pressure minimum of 2000 psf. Caisson and Vertical Slab foundations are based on a presumptive safe lateral soil bearing pressure minimum of 150 psf per foot of depth. Isolated footings subject to short-term lateral loads and not adversely affected by a 1/2" motion at grade are permitted to be designed using twice the tabulated value of the corresponding soil class.
3. A soil report was not provided. Foundation analysis assumes Soil Classification 4. Allowable bearing pressure should be verified prior to placement of concrete. In the event that the stated requirements are not met and conditions appear deleterious, cease and secure excavation and immediately contact Principle Group.
4. Foundation shall not be placed at the top of, or on the side of a slope exceeding 3:1, or adjacent to a fill slope unless re-evaluated by a competent Professional Engineer. Do not place foundation in fill.
5. Concrete shall be mixed to attain a minimum 28 day compressive strength of 3000 psi.
6. Rebar reinforcing bars shall conform to ASTM A615, Grade 60 with deformations in accordance with ASTM A305. Welding of reinforcing bars is prohibited.
7. All voids between column base plate and foundation surface shall be completely filled with high-strength, non-shrink grout.
8. Anchor bolts shall meet ASTM A36 steel. Exposed surfaces shall be galvanized or coated to prevent corrosion.
9. All support members shall be free from defects. Steel tube shall meet ASTM A500 Grade B with a minimum yield strength of 46000 psi. Steel angle, channel and plate shall meet ASTM A36.
10. Steel welds shall be made with E70xx low hydrogen electrodes by persons qualified in accordance with AWS standards within the past two years.
11. All structural bolts shall conform to ASTM A325, and be zinc coated unless noted otherwise. When used with structural bolts, heavy hex nuts shall conform to ASTM A563, and washers shall conform to ASTM F436. Pretension all high strength bolts using the Turn-of-Nut method unless noted otherwise.
12. The scope of this engineer does not include onsite observations.
13. Link Engineering will be responsible for the safety of this job site before, during or after installation of this structure. It is the responsibility of the owners, contractors and installers to ensure that the installation and erection of this structure is performed using methods that are in full compliance with OSHA regulations.
14. Any deviation from this design or from any part of this drawing, including the General Notes, without prior written consent from Link Engineering voids this drawing in its entirety.
15. The structure designed on this drawing is intended to be installed at the address shown and should not be used at any other location.



SHT.	OF	DATE:	BY:
3	3	4/8/21	GHK



SMITH BROTHERS

ABSTRACT

118 N. Broadway Avenue

Shawnee, OK 74801

Phone: (405)273-9820 Fax: (405)273-9813

State of Oklahoma
County of Pottawatomie

} SS

SPECIAL CERTIFICATE

IN RE: Lot Two (2), Block One (1), of SHAWNEE AUTO MALL, a replat of Lots Two (2), and Three (3), Block One (1) and Common Area "A", of Shawnee Auto Mall, a part of the Northeast Quarter (NE/4) of Section Thirty-one (31), Township Eleven (11) North, Range Four (4) East of the Indian Meridian, Pottawatomie County, Oklahoma.

The undersigned a duly bonded and qualified abstract company within and for Pottawatomie County, Oklahoma, hereby certifies that the current year's tax rolls in the office of the Pottawatomie County Treasurer shows the names and addresses of the owners of the property abutting and within 300 feet in any direction of the before described real estate as follows, to-wit:

NAME AND ADDRESS

LEGAL DESCRIPTION

Delmarc Signs
4040 South I-35 Service Rd
Oklahoma City, OK 73129

SHAWNEE AUTO MALL LOT 2

Cooper Shawnee CDJR Investments, LLC
14349 N Kelley Ave
Edmond, OK 73013

SHAWNEE AUTO MALL COMMON AREA A

Canadian Valley Electric Cooperative, Inc
PO Box 751
Seminole, OK 74868

BEG 73°W & 392.96°S NE/C E/2 NE W750.1' N393'
W452.12' S02° 46'E1264.59 E1155.34' N40.21' N05°14'
55°E144.57' N707.95' POB

Jerome L Johnson and Shirley J Johnson 2009
Revocable Trust
1311 N 1082 Rd
Lawrence, KS 66046

BEG 48°W & 1285.62°S NE/C E/2 NE W1176.82' TO
THE E R/W LINE OF AT&SF RR S ALG RR 303.70'
E1143.52' N4°E240.34' N63.37' POB POB LESS .16 TO
STATE & LESS .39 ACRES (WD 2017-2345)

Maple Development, LLC
12204 N I-35 Service Road
Oklahoma City, OK 73113

BEGINNING SE/C NE/4 N1110.13' W586.57' POB
S532.92' TO A POINT ON THE NORTH
RIGHT-OF-WAY LINE OF I-40 W68.43' S38.74'
S74°36'43"W230.17' S66°47'47"W98.58'
S76°3'45"W98.02' S88°23'32"W105.03' TO A POINT
ON THE EAST RIGHT-OF-WAY LINE OF RAILROAD
N2°44'20"W691.14' E605.24' POB

Cooper Shawnee Ford Investments, LLC
14349 N Kelley Ave
Edmond, OK 73013

SHAWNEE AUTO MALL LOT 4

Cooper Shawnee Chevy-Cadillac Investments, LLC
14349 N Kelley Ave
Edmond, OK 73013

SHAWNEE AUTO MALL LOT 1

SFP Pool Two Shopping Centers
17800 Larel Park Dr. North Ste 200C
Livonia, MI 48152

Shawnee Hotels, Inc
PO Box 22845
Oklahoma City, OK 73123

P&H Investments, LLC
PO Box 16787
Jonesboro, AR 72403

Dockrey Family 2014 Rev Trust
PO Box 1462
Shawnee, OK 74802

MALL EAST SECTION 1 BLK 1 LOT 2 REC#
2004-5383 SUBJECT TO EASEMENT strip mall with
Dollar Tree

MALL EAST SECTION 1 BLK 1 LOT 1 REC#
2004-5383 PLAT HOLIDAY INN EXPRESS

HAAG ADDITION LOT 1

10-SR W1/2 NE LESS TR BEG 1563.65'S NW/C NE
E660' S660' W660' N660' POB. & LESS HWY LESS TR
REC 2003 13648 & LESS REC 2003- 18482 & LESS
.56AC TO STATE REC 2005-2374 LESS .38AC OF
NEW R.O.W. & 10.62AC OF R.O.W OCCUPIED BY
PRESENT HWY REC 2005-11052 & LESS 16.22AC
DESCRIBED IN WD 2013-20858 & LESS 5.09AC
2014-13750 & LESS A 2 ACRE TRACT 2016-6468

IN WITNESS WHEREOF, We have hereunto set our hand and seal at office in the City of Shawnee, Oklahoma,
this 17th day of May, 2021 at 07:00 AM.

ATTEST:



David Thrailkill,
Abstractor License No.: 3211

Smith Brothers Abstract & Title Co., LLC



President
Abstractor License No.: 1725



Pottawatomie

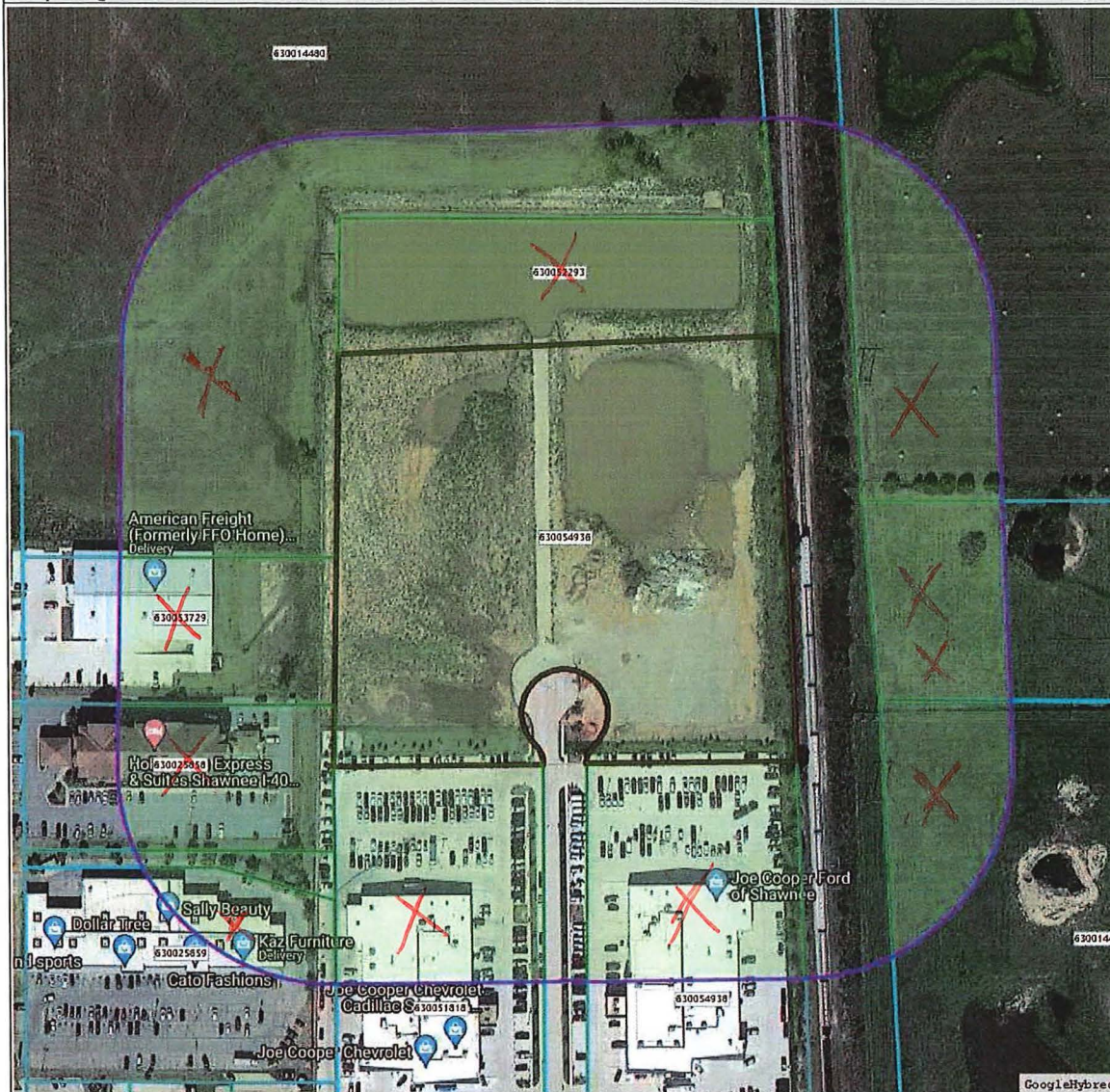
Parcel Map and Account Listing

Data provided by Leona Satterfield County Assessor

Date 05/17/2021
Time 08:54:07

593079

Map Image



Account List

Account	630025858	Current Owner	Legal Description
ParcelID	3275-00-001-001-0-000-00	SHAWNEE HOTELS INC	MALL EAST SECTION 1 BLK 1 LOT 1
Situs	04909 N UNION		REC# 2004-5383 PLAT HOLIDAY INN EXPRESS
Sec/Twn/Rng			
Subdivision	MALL EAST SEC I	PO BOX 22845	
Block/Lot	0001 / 0001	OKLAHOMA CITY OK 73123-000C	
Lot Size	1 Lots	Book/Page 2004-8450	
Account	630053729	Current Owner	Legal Description
ParcelID	3280-00-001-001-0-000-00	P & H INVESTMENTS LLC	HAAG ADDITION LOT 1
Situs	04900 N UNION		
Sec/Twn/Rng			
Subdivision	HAAG ADDITION	P O BOX 16787	
Block/Lot	0001 / 0001	JONESBORO AR 72403-000C	
Lot Size	2.0000 Acres	Book/Page 2016-6468	
Account	630025859	Current Owner	Legal Description
ParcelID	3275-00-001-002-0-000-00	SFP POOL TWO SHOPPING CENTERS	MALL EAST SECTION 1 BLK 1 LOT 2
Situs	04903 N UNION		REC# 2004-5383 SUBJECT TO EASEMENT strip mall with dollar tree
Sec/Twn/Rng			
Subdivision	MALL EAST SEC I	17800 LAREL PARK DR NORTH	
Block/Lot	0001 / 0002	STE 200C	
Lot Size	1 Lots	LIVONIA MI 48152-000C	
		Book/Page 2006-3779	



Pottawatomie

Parcel Map and Account Listing

Data provided by Leona Satterfield County Assessor

Date 05/17/2021

Time 08:54:07

Account List

Page : 2

Account	630051818	Current Owner	Legal Description
ParcelID	3282-00-001-001-0-000-00	COOPER SHAWNEE CHEVY-	SHAWNEE AUTO MALL LOT 1
Situs			
Sec/Twn/Rng		CADILLAC INVESTMENTS LLC	
Subdivision	SHAWNEE AUTO MALL & REF	14349 N KELLY AVE	
Block/Lot	0001 / 0001	EDMOND	OK 73013-000C
Lot Size	1 Lots	Book/Page 2018-4507	
Account	630054936	Current Owner	Legal Description
ParcelID	3282-00-001-002-0-000-00	COOPER SHAWNEE CDJR	LOT 2 BLOCK 1 SHAWNEE AUTO MALL
Situs			A RE-PLAT OF LOTS 2 & 3 AND
Sec/Twn/Rng		INVESTMENTS LLC	COMMON AREA A OF SHAWNEE AUTO
Subdivision	SHAWNEE AUTO MALL & REF	14349 N KELLY AVE	MALL
Block/Lot	0001 / 0002	EDMOND	OK 73013-000C
Lot Size	1 Lots	Book/Page 2020-8825	
Account	630052293	Current Owner	Legal Description
ParcelID	3282-00-001-005-0-000-00	COOPER SHAWNEE CDJR	SHAWNEE AUTO MALL RE-PLAT OF
Situs			LOTS 2 & 3 BLOCK 1 OF SHAWNEE
Sec/Twn/Rng		INVESTMENTS LLC	AUTO MALL COMMON AREA A
Subdivision	SHAWNEE AUTO MALL & REF	14349 N KELLY AVE	
Block/Lot	0001 / 0005	EDMOND	OK 73013-000C
Lot Size	1 Lots	Book/Page 2020-8825	
Account	630014471	Current Owner	Legal Description
ParcelID	0000-31-011-004-0-004-00	MAPLE DEVELOPMENT LLC	BEGINNING SE/C NE/4 N1110.13' W586
Situs			57' POB S532.92' TO A POINT ON THE
Sec/Twn/Rng	31-11N-4E		NORTH RIGHT-OF-WAY LINE OF I-40
Subdivision		12204 N I-35 SERVICE ROAD	W68.43' S38.74' S74*36'43"W230.17'
Block/Lot		OKC	S66*47'47"W98.58' S76*3'45"W98.02'
Lot Size	8.4600 Acres	Book/Page 2017-2514	S88*23'32"W105.03' TO A POINT ON THE
Account	630014472	Current Owner	Legal Description
ParcelID	0000-31-011-004-0-006-00	JOHNSON JEROME L & SHIRLEY JUN	BEG 48'W & 1285.62'S NE/C E/2 NE
Situs	05110 N HARRISON	2009 REVOCABLE TRUST	W1176.82' TO THE E R/W LINE OF
Sec/Twn/Rng	31-11N-4E		AT&SF RR S ALG RR 303.70' E1143.52'
Subdivision		2912 BELLE HAVEN DR	N4*E240.34' N63.37' POB POB LESS .16
Block/Lot		LAWRENCE	TO STATE & LESS .39 ACRES (WD 2017
Lot Size	6.8900 Acres	Book/Page 2009-3527	2345)
Account	630054938	Current Owner	Legal Description
ParcelID	3282-00-001-004-0-000-00	COOPER SHAWNEE FORD	SHAWNEE AUTO MALL LOT 4
Situs			
Sec/Twn/Rng		INVESTMENTS LLC	
Subdivision	SHAWNEE AUTO MALL & REF	14349 N KELLY AVE	
Block/Lot	0001 / 0004	EDMOND	OK 73013-000C
Lot Size	1 Lots	Book/Page 2018-4508	
Account	630014469	Current Owner	Legal Description
ParcelID	0000-31-011-004-0-003-00	CANADIAN VALLEY ELECTRIC	BEG 73'W & 392.96'S NE/C E/2 NE W750
Situs			1' N393' W452.12' S02* 46'E1264.59
Sec/Twn/Rng	31-11N-4E	COOPERATIVE INC	E1155.34' N40.21' N05*14' 55"E144.57'
Subdivision		P O BOX 751	N707.95' POB
Block/Lot		SEMINOLE	
Lot Size	27.5800 Acres	Book/Page 2005-8455	
Account	630014480	Current Owner	Legal Description
ParcelID	0000-31-011-004-0-012-00	DOCKREY FAMILY 2014 REV TRUST	10-SR W1/2 NE LESS TR BEG 1563.65'S
Situs			NW/C NE E660' S660' W660' N660' POB.
Sec/Twn/Rng	31-11N-4E		& LESS HWY LESS TR REC 2003 13648 &
Subdivision		PO BOX 1462	LESS REC 2003- 18482 & LESS .56AC TO
Block/Lot		SHAWNEE	STATE REC 2005-2374 LESS .38AC OF
Lot Size	32.0800 Acres	Book/Page 2015-0765	NEW R.O.W. & 10.62AC OF R.O.W
			OCCUPIED BY PRESENT HWY REC 2005

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Jonesboro, AR 72403

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Shawnee, OK 74802

*mailed
5/26/21*

PUBLIC HEARING NOTICE
CITY OF SHAWNEE, OK
ZONING BOARD OF ADJUSTMENT
CASE #ZBOA02-21

Notice is hereby given that the City of Shawnee, Oklahoma, will conduct a public hearing on a proposed variance of property located within the City of Shawnee.

The property requesting a variance is described as follows:

General Location Known As:	<u>4921 N Automall Dr -- (Joe Cooper CDJR)</u>
Current Zoning Classification:	<u>C-3 (Highway Commercial District)</u>
Requested Variances:	<u>Variance to add a second freestanding sign</u> <u>(one allowed) and variance to increase height</u> <u>existing sign from maximum 20' in height to 35'</u> <u>and install new sign at 35' in height (15' variance)</u>
Applicant:	<u>Dalmarc Signs</u>

The public hearing will be held by the Zoning Board of Adjustments as follows:

LEGAL DESCRIPTION:

Lot Two (2), Block One (1), of SHAWNEE AUTO MALL, a replat of Lots Two (2) and (3), Block One (1) and Common Area "A", of Shawnee Auto Mall, a part of the Northeast Quarter (NE/4) of Section Thirty-one (31), Township Eleven (11) North, Range Four (4) East of the Indian Meridian, City of Shawnee, Pottawatomie County, Oklahoma

The item will be heard by the Zoning Board of Adjustment in the Commission Chambers located inside of City Hall at 16 W. 9th Street, Shawnee, OK 74801.

June 17th, 2021 AT 2:30 P.M. CITY OF SHAWNEE ZONING BOARD OF ADJUSTMENT

At this time any interested citizen of Shawnee, Oklahoma will have the opportunity to appear and be heard regarding the rezone request. The Board reserves the right to limit discussion and debate on the proposed rezoning in the public hearing, in which event those persons appearing in support or opposition of the proposed rezone will be allotted equal time. Any formal protest must be filed in writing with the Planning Office during normal working hours a minimum of three (3) days prior to the hearing. If there are any questions about the proposal, or you need additional information prior to the public hearing, please contact the Planning Department at 405-878-1616. A copy of the application is available for public inspection during normal working hours in the Planning Office/Annex Building located at 222 N. Broadway.

Witness my hand this 26th day of May 2021.

/s/ L. Rachel R. Clyne
Rachel Clyne, City Planner



ZBOA02-21 – Request for Variances

4921 N Automall Dr -- (Joe Cooper CDJR)

1. Add a second freestanding sign (one allowed)
2. Increase height of existing sign from 20' (maximum) in height to 35' (15' variance)
3. Install new sign at 35' in height (15' variance)